

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE; GRANTING A SPECIFIC USE PERMIT (SUP) FOR A WIRELESS COMMUNICATIONS AND SUPPORT STRUCTURE, LOCATED ON A TRACT OF LAND CONSISTING OF 0.0048 ACRE, MORE OR LESS, IN THE COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 147, IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that the Zoning Ordinance should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper") has received a request from T-Mobile ("Applicant") for a Specific Use Permit (SUP) for a wireless communications and support structure, on a tract of land zoned Agricultural (A), consisting of 0.0048 acre of land, more or less, in The Collin County School Land Survey, Abstract No. 147, in the Town of Prosper, Collin County, Texas, and being more particularly described in Exhibit "A," attached hereto and incorporated herein for all purposes; and

WHEREAS, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required to grant a Specific Use Permit (SUP) have been given in the manner and form set forth by law, Public Hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Specific Use Permit Granted. The Town's Zoning Ordinance is amended as follows: Applicant is granted a Specific Use Permit (SUP) for a wireless communications and support structure, on a tract of land zoned Agricultural (A), consisting of 0.0048 acre of land, more or less, in the Collin County School Land Survey, Abstract No. 147, in the Town of Prosper, Collin County, Texas, and being more particularly described in Exhibit "A," attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Specific Use Permit shall conform to, and comply with 1) the site plan, attached hereto as Exhibit "B", and 2) the elevations, attached hereto as Exhibit "C", which are incorporated herein for all purposes as if set forth verbatim, subject to the following conditions of approval by the Town Council:

1. Town Council approval of a lease agreement to allow for the use of facilities on Town property.

All development plans, standards, and uses for the Property shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two (2) original, official, and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One (1) copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up to date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy, and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state, and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is

expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 25TH DAY OF JULY, 2023.


David F. Bristol, Mayor

ATTEST:


Michelle Lewis Sirianni, Town Secretary

APPROVED AS TO FORM AND LEGALITY:


Terrence S. Welch, Town Attorney



TABLE OF DIMENSIONS

NUMBER	DIRECTION	DISTANCE
1	S. 86° 59' 00" W.	12.71'
2	S. 86° 59' 00" W.	5.50'
3	S. 86° 59' 00" W.	5.50'
4	N. 42° 50' 23" E.	14.00'
5	N. 46° 02' 31" E.	15.00'
6	N. 46° 02' 31" E.	14.00'
7	N. 46° 02' 31" E.	14.00'
8	N. 46° 02' 31" E.	14.00'
9	N. 46° 02' 31" E.	14.00'
10	N. 46° 02' 31" E.	14.00'
11	N. 46° 02' 31" E.	14.00'
12	N. 46° 02' 31" E.	14.00'
13	N. 46° 02' 31" E.	14.00'
14	N. 46° 02' 31" E.	14.00'
15	N. 46° 02' 31" E.	14.00'
16	N. 46° 02' 31" E.	14.00'
17	N. 46° 02' 31" E.	14.00'
18	N. 46° 02' 31" E.	14.00'
19	N. 46° 02' 31" E.	14.00'
20	N. 46° 02' 31" E.	14.00'
21	N. 46° 02' 31" E.	14.00'
22	N. 46° 02' 31" E.	14.00'
23	N. 46° 02' 31" E.	14.00'
24	N. 46° 02' 31" E.	14.00'
25	N. 46° 02' 31" E.	14.00'
26	N. 46° 02' 31" E.	14.00'
27	N. 46° 02' 31" E.	14.00'
28	N. 46° 02' 31" E.	14.00'
29	N. 46° 02' 31" E.	14.00'
30	N. 46° 02' 31" E.	14.00'
31	N. 46° 02' 31" E.	14.00'
32	N. 46° 02' 31" E.	14.00'
33	N. 46° 02' 31" E.	14.00'
34	N. 46° 02' 31" E.	14.00'
35	N. 46° 02' 31" E.	14.00'
36	N. 46° 02' 31" E.	14.00'
37	N. 46° 02' 31" E.	14.00'
38	N. 46° 02' 31" E.	14.00'
39	N. 46° 02' 31" E.	14.00'
40	N. 46° 02' 31" E.	14.00'
41	N. 46° 02' 31" E.	14.00'
42	N. 46° 02' 31" E.	14.00'
43	N. 46° 02' 31" E.	14.00'
44	N. 46° 02' 31" E.	14.00'
45	N. 46° 02' 31" E.	14.00'
46	N. 46° 02' 31" E.	14.00'
47	N. 46° 02' 31" E.	14.00'
48	N. 46° 02' 31" E.	14.00'
49	N. 46° 02' 31" E.	14.00'
50	N. 46° 02' 31" E.	14.00'
51	N. 46° 02' 31" E.	14.00'
52	N. 46° 02' 31" E.	14.00'
53	N. 46° 02' 31" E.	14.00'
54	N. 46° 02' 31" E.	14.00'
55	N. 46° 02' 31" E.	14.00'
56	N. 46° 02' 31" E.	14.00'
57	N. 46° 02' 31" E.	14.00'
58	N. 46° 02' 31" E.	14.00'
59	N. 46° 02' 31" E.	14.00'
60	N. 46° 02' 31" E.	14.00'
61	N. 46° 02' 31" E.	14.00'
62	N. 46° 02' 31" E.	14.00'
63	N. 46° 02' 31" E.	14.00'
64	N. 46° 02' 31" E.	14.00'
65	N. 46° 02' 31" E.	14.00'
66	N. 46° 02' 31" E.	14.00'
67	N. 46° 02' 31" E.	14.00'
68	N. 46° 02' 31" E.	14.00'
69	N. 46° 02' 31" E.	14.00'
70	N. 46° 02' 31" E.	14.00'
71	N. 46° 02' 31" E.	14.00'
72	N. 46° 02' 31" E.	14.00'
73	N. 46° 02' 31" E.	14.00'
74	N. 46° 02' 31" E.	14.00'
75	N. 46° 02' 31" E.	14.00'
76	N. 46° 02' 31" E.	14.00'
77	N. 46° 02' 31" E.	14.00'
78	N. 46° 02' 31" E.	14.00'
79	N. 46° 02' 31" E.	14.00'
80	N. 46° 02' 31" E.	14.00'
81	N. 46° 02' 31" E.	14.00'
82	N. 46° 02' 31" E.	14.00'
83	N. 46° 02' 31" E.	14.00'
84	N. 46° 02' 31" E.	14.00'
85	N. 46° 02' 31" E.	14.00'
86	N. 46° 02' 31" E.	14.00'
87	N. 46° 02' 31" E.	14.00'
88	N. 46° 02' 31" E.	14.00'
89	N. 46° 02' 31" E.	14.00'
90	N. 46° 02' 31" E.	14.00'
91	N. 46° 02' 31" E.	14.00'
92	N. 46° 02' 31" E.	14.00'
93	N. 46° 02' 31" E.	14.00'
94	N. 46° 02' 31" E.	14.00'
95	N. 46° 02' 31" E.	14.00'
96	N. 46° 02' 31" E.	14.00'
97		

TABLE OF DIMENSIONS

NUMBER	DIRECTION	DISTANCE
1	S. 86° 59' 00" W.	12.71'
2	S. 86° 59' 00" W.	5.50'
3	S. 86° 59' 00" W.	5.50'
4	N. 42° 50' 23" E.	14.00'
5	N. 46° 02' 31" E.	15.00'
6	N. 46° 02' 31" E.	14.00'
7	N. 46° 02' 31" E.	14.00'
8	N. 46° 02' 31" E.	14.00'
9	N. 46° 02' 31" E.	14.00'
10	N. 46° 02' 31" E.	14.00'
11	N. 46° 02' 31" E.	14.00'
12	N. 46° 02' 31" E.	14.00'
13	N. 46° 02' 31" E.	14.00'
14	N. 46° 02' 31" E.	14.00'
15	N. 46° 02' 31" E.	14.00'
16	N. 46° 02' 31" E.	14.00'
17	N. 46° 02' 31" E.	14.00'
18	N. 46° 02' 31" E.	14.00'
19	N. 46° 02' 31" E.	14.00'
20	N. 46° 02' 31" E.	14.00'
21	N. 46° 02' 31" E.	14.00'
22	N. 46° 02' 31" E.	14.00'
23	N. 46° 02' 31" E.	14.00'
24	N. 46° 02' 31" E.	14.00'
25	N. 46° 02' 31" E.	14.00'
26	N. 46° 02' 31" E.	14.00'
27	N. 46° 02' 31" E.	14.00'
28	N. 46° 02' 31" E.	14.00'
29	N. 46° 02' 31" E.	14.00'
30	N. 46° 02' 31" E.	14.00'
31	N. 46° 02' 31" E.	14.00'
32	N. 46° 02' 31" E.	14.00'
33	N. 46° 02' 31" E.	14.00'
34	N. 46° 02' 31" E.	14.00'
35	N. 46° 02' 31" E.	14.00'
36	N. 46° 02' 31" E.	14.00'
37	N. 46° 02' 31" E.	14.00'
38	N. 46° 02' 31" E.	14.00'
39	N. 46° 02' 31" E.	14.00'
40	N. 46° 02' 31" E.	14.00'
41	N. 46° 02' 31" E.	14.00'
42	N. 46° 02' 31" E.	14.00'
43	N. 46° 02' 31" E.	14.00'
44	N. 46° 02' 31" E.	14.00'
45	N. 46° 02' 31" E.	14.00'
46	N. 46° 02' 31" E.	14.00'
47	N. 46° 02' 31" E.	14.00'
48	N. 46° 02' 31" E.	14.00'
49	N. 46° 02' 31" E.	14.00'
50	N. 46° 02' 31" E.	14.00'
51	N. 46° 02' 31" E.	14.00'
52	N. 46° 02' 31" E.	14.00'
53	N. 46° 02' 31" E.	14.00'
54	N. 46° 02' 31" E.	14.00'
55	N. 46° 02' 31" E.	14.00'
56	N. 46° 02' 31" E.	14.00'
57	N. 46° 02' 31" E.	14.00'
58	N. 46° 02' 31" E.	14.00'
59	N. 46° 02' 31" E.	14.00'
60	N. 46° 02' 31" E.	14.00'
61	N. 46° 02' 31" E.	14.00'
62	N. 46° 02' 31" E.	14.00'
63	N. 46° 02' 31" E.	14.00'
64	N. 46° 02' 31" E.	14.00'
65	N. 46° 02' 31" E.	14.00'
66	N. 46° 02' 31" E.	14.00'
67	N. 46° 02' 31" E.	14.00'
68	N. 46° 02' 31" E.	14.00'
69	N. 46° 02' 31" E.	14.00'
70	N. 46° 02' 31" E.	14.00'
71	N. 46° 02' 31" E.	14.00'
72	N. 46° 02' 31" E.	14.00'
73	N. 46° 02' 31" E.	14.00'
74	N. 46° 02' 31" E.	14.00'
75	N. 46° 02' 31" E.	14.00'
76	N. 46° 02' 31" E.	14.00'
77	N. 46° 02' 31" E.	14.00'
78	N. 46° 02' 31" E.	14.00'
79	N. 46° 02' 31" E.	14.00'
80	N. 46° 02' 31" E.	14.00'
81	N. 46° 02' 31" E.	14.00'
82	N. 46° 02' 31" E.	14.00'
83	N. 46° 02' 31" E.	14.00'
84	N. 46° 02' 31" E.	14.00'
85	N. 46° 02' 31" E.	14.00'
86	N. 46° 02' 31" E.	14.00'
87	N. 46° 02' 31" E.	14.00'
88	N. 46° 02' 31" E.	14.00'
89	N. 46° 02' 31" E.	14.00'
90	N. 46° 02' 31" E.	14.00'
91	N. 46° 02' 31" E.	14.00'
92	N. 46° 02' 31" E.	14.00'
93	N. 46° 02' 31" E.	14.00'
94	N. 46° 02' 31" E.	14.00'
95	N. 46° 02' 31" E.	14.00'
96	N. 46° 02' 31" E.	14.00'
97		

PROJECT INFORMATION

CENTER OF LIGHT LAKE COORDINATES:
Latitude: N 33° 15' 30.885" NAD83
Longitude: W 86° 48' 07.1271" NAD83
Ground Elevation (AMS): 449.8 Feet
Top of Casting Light Tower: 70.9 ASL

NOTES

INGRESS/EGRESS IN COMMON WITH LESSOR;
LATITUDE AND LONGITUDE SHOWN HEREON ARE BASED ON NAD83
AND ELEVATIONS MADE 1989.

MAGNETIC DECLINATION INFORMATION TAKEN FROM NOAA WEB SITE
IS AND IS APPROXIMATE.

LATITUDE AND LONGITUDE FROM GPS OBSERVATIONS PERFORMED
CONCIDENT WITH SURVEY, 1983 NORTH AMERICAN DATUM.
BASIS OF ELEVATION: GPS OBSERVATIONS PERFORMED CONCURRENT

CENTER OF LIGHT PALE COORDINATES:
 Lat: 15° 30' 38.55" N
 Longitude: 104° 03' 00" W
 Elevation: 1500 Feet
 Ground Elevation (AMS): 149.8 Feet
 Top of Existing Light Pole: 78.9 AGL

NOTES:
 INCREASE/DECREASE IN COMMON WITH LESSOR;
 LATITUDE AND LONGITUDE SHOWN HEREON TAKEN FROM NOAA WEB SITE
 AND ELEVATIONS MAY VARY.

MAGNETIC DECLINATION INFORMATION FROM NOAA WEB SITE
 IS APPROXIMATE.

LATITUDE AND LONGITUDE FROM GPS OBSERVATIONS PERFORMED
 CONCURRENT WITH SURVEY, 1983 NORTH AMERICAN DATUM.
 BASIS OF ELEVATIONS OBSERVATIONS PERFORMED CONCURRENT
 WITH SURVEY, 1983 NORTH AMERICAN DATUM.

LEGEND

○	PR - POWER POLE
●	TYPED - TELEPHONE RISER
○	WV - WATER VALVE
○	FH - FINE HYDRANT
○	TO - TOWER CENTROID
XX	LP - LIGHT POLE
U	EM - ELECTRIC MOTOR
Q	GH - GAS METER
●	IR - IRON ROD SET
○	IR - IRON ROD FOUND
TBM	BENCH MARK
—	BUILDING LINES
—	FENCE LINE
—	POWER LINE

- O PE - POWER POLE
 * TPED - TELEPHONE RISER
 O WY - WATER VALVE
 O FH - FIRE HYDRANT
 O TOWER CENTRAD
 X LP - LIGHT POLE
 U EM - ELECTRIC METER
 Q GH - GAS METER
 * ISC - IRON ROAD SET
 * BR - BROWN ROAD BOUND
 TBM BENCH MARK
 BUILDING LINES
 FENCE LINE
 POWER LINE

CINITY MAP



SUPPLYMAN'S CERTIFICATE

[illegible]

Exhibit A

W. J. L. S. 64125

SV-1


NO.	DATE	DESCRIPTION:
1	03/02/2018	001.00.000000
2	04/02/2018	001.00.000000
3	05/02/2018	001.00.000000
4	06/02/2018	001.00.000000
5	07/02/2018	001.00.000000



Mobile.
7668 WARREN PARKWAY
FRISCO TEXAS 75034
OFFICE (972) 464-3000
FAX (972) 464-3000

SURVEY

SURVEY



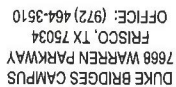
SV-2

L

NOTE: ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH ANS/ASSE A10.48 AND ANY OTHER SAFETY STANDARDS.

- ◆ HW - POWER POLE
- ◆ SW - TELEPHONE RING
- WV - WATER VALVE
- PW - FIRE HYDRANT
- ◎ TOWER CENTROID
- ⊕ LP - LIGHT POLE
- ⊖ EM - ELECTRIC METER
- ⊗ CM - GAS METER
- RS - IRON ROD SET
- RF - IRON ROD FOUND
- TBM BENCH MARK

EQUIPMENT COMPOUND PLAN



三

of the

Subject: _____

1000

5. *Chlorophyll a* and *Chlorophyll b* contents were determined using a spectrophotometer (Shimadzu UV-1601) at 663 nm and 646 nm, respectively. The concentrations were calculated using the following equations:

[illegible][illegible]

ALLPRO

© 2001 Blackwell Science Ltd

1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398</
------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	--------

1111

[illegible]

1000

07/07/10

DAU3931D

(STADIUM AND NATATORIUM)

[illegible]

PROSPER, TX 75078
COLLIN COUNTY

APPENDIX

EQUIPMENT

1111

:

5

NOTE:
MOUNT ANALYSIS IS BY OTHERS NO NEW EQUIPMENT TO BE
INSTALLED WITHOUT THE APPROVAL OF A STRUCTURAL
ENGINEER.

STRUCTURAL ANALYSIS IS BY OTHERS NO NEW EQUIPMENT
TO BE INSTALLED WITHOUT THE APPROVAL OF A
STRUCTURAL ENGINEER.

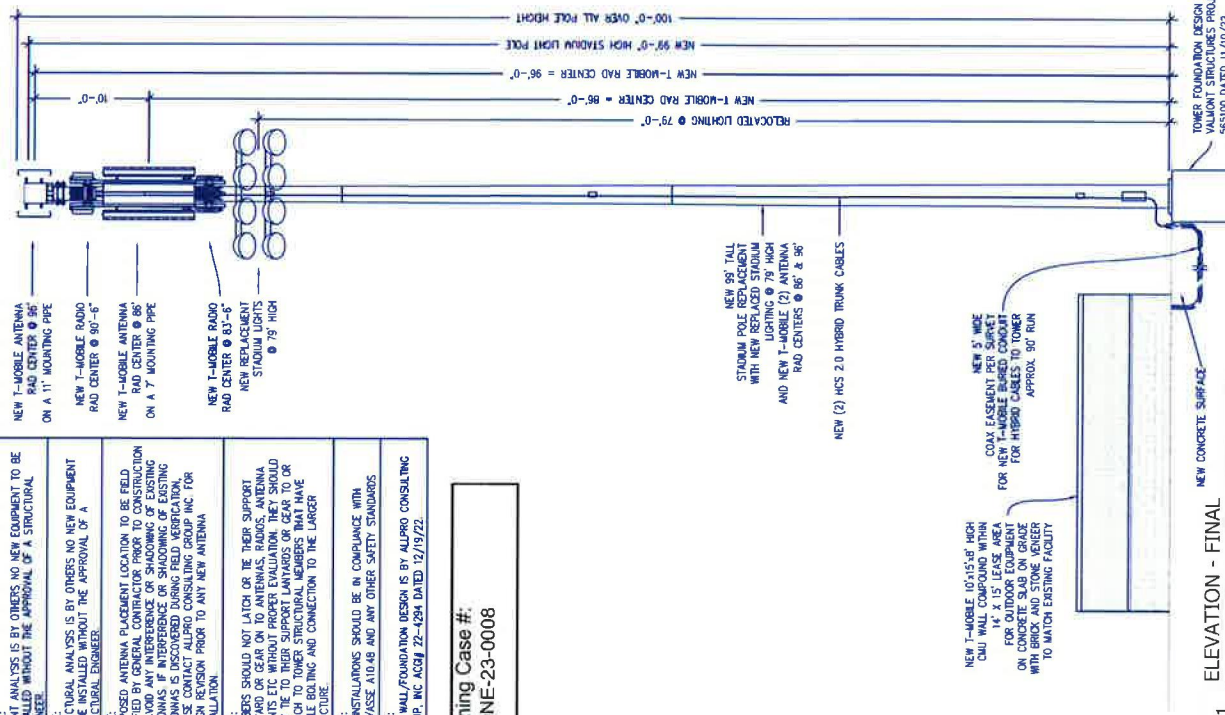
NOTE:
PROPOSED ANTENNA PLACEMENT LOCATION TO BE FIELD
CHECKED BY OTHERS PRIOR TO CONSTRUCTION
TO AVOID ANY INTERFERENCE OR SHADOWING OF EXISTING
ANTENNAS IF INTERFERENCE OR SHADOWING OF EXISTING
ANTENNAS IS DISCOVERED DURING FIELD VERIFICATION,
PLEASE CONTACT ALLPRO CONSULTING GROUP INC. FOR
REVISION PRIOR TO ANY NEW ANTENNA
INSTALLATION.

NOTE:
CUMBERS SHOULD NOT LATCH OR BE THEIR SUPPORT
LANTARD OR GEAR ON TO ANTENNAS, RADIOS, ANTENNA
MOUNTS ETC. WITHOUT PROPER EVALUATION. THEY SHOULD
ONLY TIE TO THEIR SUPPORT LANTARDS OR GEAR TO OR
ATTACH TO TOWER STRUCTURAL MEMBERS THAT HAVE
SUFFICIENT STRENGTH AND CONNECTION TO THE LARGER
STRUCTURE.

NOTE:
ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH
ANSI/ASSE A10.48 AND ANY OTHER SAFETY STANDARDS

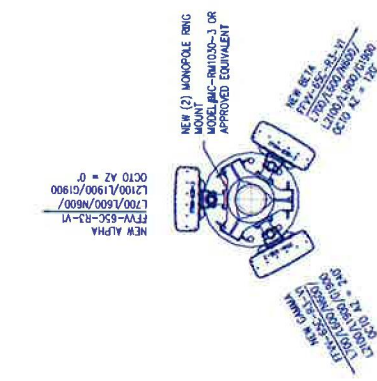
NOTE:
CHU WALL/FOUNDATION DESIGN IS BY ALLPRO CONSULTING
GROUP, INC. ACQ# 22-4284 DATED 12/15/22.

Zoning Case #:
ZONE-23-0008



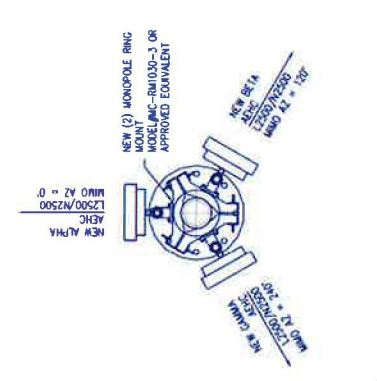
1 ELEVATION - FINAL

NOTE:
NEW STADIUM LIGHTS NOT SHOWN FOR CLARITY



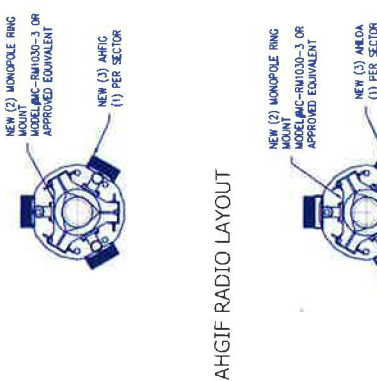
2 ANTENNA LAYOUT @ 86° RAD CENTER

NOTE:
NEW STADIUM LIGHTS NOT SHOWN FOR CLARITY



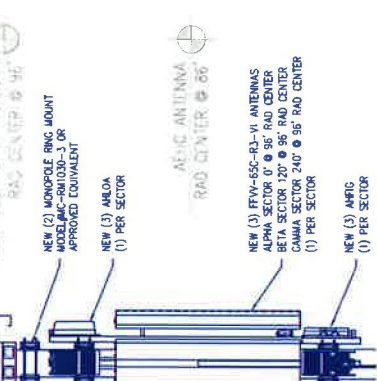
3 ANTENNA LAYOUT @ 96° RAD CENTER

NOTE:
NEW STADIUM LIGHTS NOT SHOWN FOR CLARITY



4 AHGIF RADIO LAYOUT

NOTE:
NEW STADIUM LIGHTS NOT SHOWN FOR CLARITY



5 AHLOA RADIO LAYOUT

Exhibit C

6 ANTENNA MOUNTING DETAIL

DUKE BRIDGES CAMPUS
FRISCO, TX 75034
OFFICE: (972) 464-3510



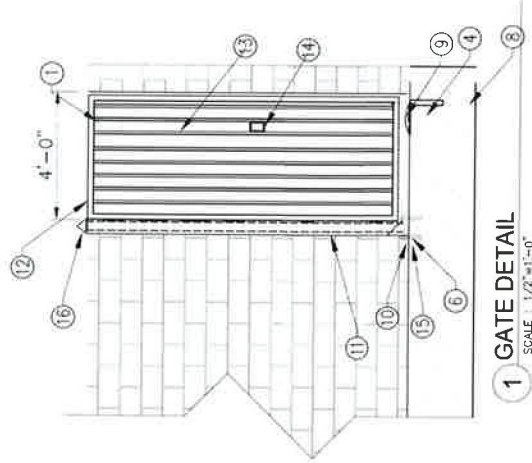
DA03931D
PISO SPORT COMPLEX
(STADIUM AND NATATORIUM)
1240 W FRONTIER PKWY
PROSPER, TX 75076
COLLIN COUNTY

Exhibit C

NOTES:

- EXISTING CONDITIONS WILL BE OBSERVED AND FIELD BY THE CONTRACTOR PRIOR TO FIELD FABRICATION AND INSTALLATION. IF SIGNIFICANT DEVIATIONS OR DEFECTS ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, REPAIR PERMIT WILL BE OBTAINED AND CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER IMMEDIATELY.
- "ALPRO CONSULTING GROUP, INC." WAS NOT PROVIDED WITH A GEOTECHNICAL REPORT. FOUNDATIONS SHALL BE DESIGNED TO SUPPORT A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 1500 PSF. IT IS RECOMMENDED THAT A GEOTECHNICAL INVESTIGATION BE COMPLETED PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.

- ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH ANSI/ ASSE 10.48 AND ANY OTHER SAFETY STANDARDS.
- GENERAL CONTRACTOR TO VERIFY WITH GENERATOR MANUFACTURER FOR FIT PRIOR TO POURING CONCRETE AND INSTALLATION.
- GENERATOR DESIGN AND DRAWINGS BY OTHERS.



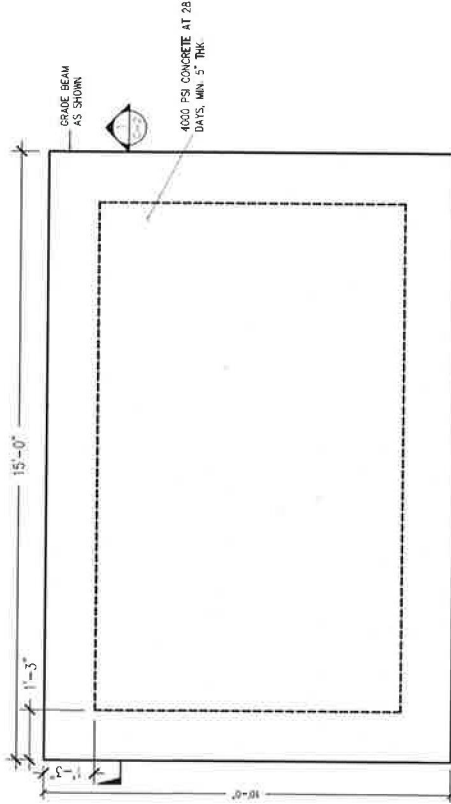
1 GATE DETAIL
SCALE: 1/2" = 1'-0"

REFERENCE NOTES:

- MANUFACTURER TO PROVIDE RUST INHIBITIVE PAINT OR GALVANIZATION
- EXISTING SITE MATERIAL
- WELD ON HEAVY DUTY HINGE (4) PER LENGTH OF TUBE WITH FINISH TO MATCH FRAME
- (1) GATE STOP
- HSS4x4x3/8 FINISH TO MATCH GATE FRAME WELDED TO BASEPLATE W/ 3/16" WELD ALL AROUND
- 3/4" BASEPLATE W/ (4) 3/4" DIAMETER BOLTS EMBEDDED 4 1/2" INTO FOUNDATION W/ MILTI H2000 ADHESIVE ANCHOR. 1 1/2" 5000 PSI NON SHRINK GROUT BELOW
- 1/2" CAP PLATE WELD TO TOP OF POST W/ 3/16" WELD ALL AROUND
- GATE STOP SUPPORT 12" DIAMETER BY 2'-0" DEEP 3000 PSI CONCRETE W/ MUSHROOM GATE STOP EMBEDDED ON TOP OF CONCRETE
- REMOVABLE 1/2" DIAMETER BENT BAR WITH CASING EMBEDDED IN GATE STOP CONCRETE
- BASE BLOCK TRIMMED AROUND BASE AND GROUTED FROM TOP W/ 5000 PSI NON SHRINK GROUT OVER BASEPLATE
- LAST TWO CELLS FULLY GROUTED. ONE CELL AWAY FROM END TO BE FULLY GROUTED W/ (2) #5 BARS.
- 2 SQ IN STEEL FRAME ALL AROUND
- 1 SQ IN STEEL PICKETS @ 4" O.C.
- KNOX BOX
- 13" TALL BY 12" CONCRETE VERTICAL EXTENSION FROM FOOTING FOR STEEL GATE BASE PLATE ANCHOR

FOUNDATION NOTES:

- COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000-PSI AT 28-DAY CURE, AND SHALL MEET SPECIFICATION FOR READY-MIXED CONCRETE (ASTM C94-06). CONCRETE SHALL BE PLACED AND CURED AS PER ACI-318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SLUMP SHALL RANGE BETWEEN 4 INCHES TO 6 INCHES.
- ALL CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- THE SURFACE, OVER WHICH THE CONCRETE WILL BE POURED, SHALL BE CLEAN OF LOOSE MATERIAL AND LEVELED PRIOR TO CONCRETE PLACEMENT.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- MECHANICALLY VIBRATE CONCRETE, PARTICULARLY WHEN POURED IN DIFFERENT LIFTS, TO ENSURE CONSOLIDATION AND TO AVOID JOINTS.
- ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL, ASTM A-615, GRADE 60. REINFORCING SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI 315-LATEST EDITION - "MANUAL OF STANDARD FOR DETAILING REINFORCED CONCRETE".
- ALL LOAD BEARING FOOTING SHALL BEAR ON TOP OF COMPACTED SOIL.
- YIELDING OF REINFORCING BARS AND DOWEL BARS IS PROHIBITED UNLESS OTHERWISE APPROVED BY ENGINEER.
- PRIOR TO THE EXCAVATION, CHECK AREA FOR LOCATION OF UNDERGROUND PIPES, CABLES, ETC.
- ALLOWABLE SOIL BEARING PRESSURE SHALL BE 1500 PSF MINIMUM. IF DIFFERENT, PLEASE NOTIFY ALPRO CONSULTING GROUP, INC FOR A REDESIGN.
- SOIL DATA AS PER PRESUMPTIVE SOIL PARAMETERS FROM IBC 2015 CODE, TABLE 1606.2



2 CONCRETE FOUNDATION PLAN VIEW
SCALE: 1/2" = 1'-0"

Exhibit C

T-Mobile
DUKE BRIDGES CAMPUS
7669 WARREN PARKWAY
FISCO, TX 75024
OFFICE: (972) 464-3510

ASD NO.	7/2-17/4
DATE	7/2
PROJECT	7/2
CLIENT	7/2
LOCATION	7/2
DESCRIPTION	7/2
DESIGNER	7/2
CHECKER	7/2
APPROVER	7/2



SITE ID:
DA0931D
SITE NAME:
PISD SPORT
COMPLEX

1240 FRONTIER PARKWAY PARK RD,
FARMERS BRANCH, TX 75448
COLLIN COUNTY

SHEET TITLE
PAD DETAILS

SHEET NO. 002
S-3

MASONRY

1. MASONRY STRENGTH

A. HOLLOW CONCRETE MASONRY UNITS: GRADE N, LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF $F = 1500$ PSI ON THE NET AREA.
- B. GROUT: 2000 PSI, MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.
- C. MORTAR: CEMENT-LIME TYPES, 1800 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.
- D. 4,000 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.

LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER-LAPPING UNITS.

MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0".

TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'-0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.

SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.

GROUT SOLID ALL WALLS IN CONTACT WITH EARTH, RETAINING WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.

GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.

8. PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEAN SO THAT ALL SPACES TO BE FILLED WITH GROUT DO NOT CONTAIN MORTAR PROJECTIONS GREATER THAN 1/2 INCH. MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT ALL SPACES DESIGNATED TO BE GROUTED SHALL BE FILLED WITH GROUT AND THE GROUT SHALL BE CONFINED TO THOSE SPECIFIC SPACES.
9. GROUT MATERIALS AND WATER CONTENT SHALL BE CONTROLLED TO PROVIDE ADEQUATE FLUIDITY FOR PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS, AND SHALL BE MIXED THOROUGHLY.
10. THE GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.
12. BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL C.M.U. AT THE SAME ELEVATION AND WITH THE GROUT STOPPING A MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 INCH BELOW THE TOP OF THE MASONRY.
13. SEGREGATION OF GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUTING PROCESS.
14. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACEMENT BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT POURS GREATER THAN 12 INCHES IN HEIGHT WILL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 MECHANICALLY VIBRATED OR PUDDLED AND RODDED WITH SMOOTH BAR.
15. GROUT SHALL NOT BE HANDLED NOR PUMPED UTILIZING ALUMINUM EQUIPMENT UNLESS IT CAN BE DEMONSTRATED WITH THE MATERIAL AND EQUIPMENT TO BE USED THAT THERE WILL BE NO DELETERIOUS EFFECT ON THE STRENGTH OF THE GROUT.
16. PLACE #4 VERTICAL REINFORCEMENT @ EACH CORNER AND @ EACH SIDE OF AN OPENING

T-Mobile
DUKE BRIDGES CAMPUS
7668 WARREN PARKWAY
FMS CO TX 75054
OFFICE: (972) 454-3510

4/23/20 3:27-4:04

03/24/20 10:37

2/6/20 8:17

12/17/19 10:11

ALLPRO
CONSULTING GROUP, INC.
1346 FRONTIER BOULEVARD, SUITE 200
PROSPER, TEXAS 75078
Phone: 972-251-8500
Fax: 972-251-8501
www.allprogroup.com
registered in TX



SITE ID:
DA0931D
SITE NAME:
PISD SPORT
COMPLEX

1346 FRONTIER BOULEVARD, SUITE 200
PROSPER, TX 75078
COLLIN COUNTY

SHEET TITLE
MASONRY NOTES

SHEET NUMBER
S-4

Exhibit C