

# PLAT REQUEST

## Purpose

Platting is the procedure by which a tract of land is legally divided into defined lots for development or sale.

## Approval Body

## Considered by the Planning and Zoning

## Commission:

- **Preliminary Plats**- Establishes the general layout of subdivision (only required for residential development)
- **Final Plats**- Ensures that a proposed subdivision or development is consistent with Town standards.
- **Conveyance Plat**- Signifies the sale of a piece of land (Does not constitute approval for development)

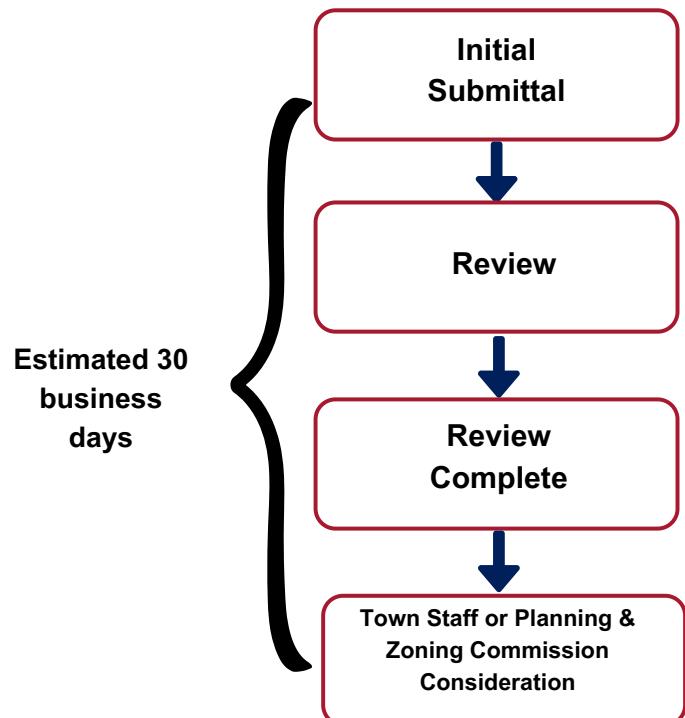
### **Considered by Town Staff:**

- **Amending Plat**- Allows minor revisions to a recorded plat expeditiously.
- **Minor Plat** - Indicates a less intensive division of land (Four or fewer lots, no public improvements, and all lots meet Town standards).

## Required Forms & Exhibit

All requests are submitted online via the Citizen Self Service (CSS) Portal and shall be submitted per the development schedule. Upload the following:

- Plans prepared in accordance with the associated checklist per case type
- .dwg and .pdf files of all plat/plans and exhibits
- Tax statement for the subject property showing no delinquent taxes (e-statements are acceptable)
- List of street names for review and approval by the Town OR a copy of a letter from the Town listing approved street names (Preliminary Plat and Final Plat only)
- Letter of Intent
- Owner Acknowledgment Form



## Types of Plats & Fees

(Fees will be processed once the application is deemed complete. Fees will be invoiced via the Citizen Self Service (CSS) Portal)

- Minor Plat - \$250.00
- Amended Plat - \$300.00 + \$10.00 per lot
- Preliminary Plat - \$400.00 + \$10.00 per lot
- Conveyance Plat - \$500.00 + \$10.00 per lot
- Final Plat - \$500.00 + \$10.00 per lot
- Replat - \$500.00 + \$10.00 per lot

## Notices

Residential replats are the only plats that are noticed.

## Expiration

The approval of a plat shall remain in effect for a period of two years following the date of approval.

# FINAL PLAT, REPLAT, AND AMENDING PLAT REQUEST CHECKLIST



PROVIDE COMPLETED CHECKLIST SIGNED BY PREPARER WITH APPLICATION. FAILURE TO SUBMIT ANY OF THE REQUIRED DOCUMENTS, MAY RESULT IN AN INCOMPLETE SUBMITTAL AND REJECTED BY THE PLANNING DEPARTMENT.

**Name of Project:** \_\_\_\_\_

**Date of Submittal:** \_\_\_\_\_

- Use the attached list to verify the completeness of the plat request being submitted.
- Check the box next to each item that has been provided on the plans.
- If an item or section is not applicable to the given project, write "N/A". Add notes next to any items where clarification to Town staff is needed.
- Sign and complete checklist.
- Attach the completed checklist with the plat request at the time of first submittal only.
- Electronic files in pdf format submitted to the Town for initial review.
- Each request should be directly created in Adobe or similar (no scanned versions)
- Failure to submit any required documents associated with this checklist, may result in a rejection of submittal.

**The following checklists are not intended to be a definitive list of all information. Items listed in bold and marked with an “\*” are required items. Submittals shall be rejected if denoted items are not included**

- Title Block located in lower right corner with subdivision name, block and lot numbers, survey name, and abstract number, number of acres, space for the Town project number (provided at the time of case submittal), preparation date, town, county and state\***
- Legal (metes and bounds) description with total acreage\***
- Property boundary with dimensions and bearings and indicate the Point of Beginning\***
- Easements - water, wastewater, drainage, electric, telephone, gas, cable television, fire lane, etc. Show all bearing and distance information on existing and proposed easements, including separate instruments. Where property or easement extends into multiple counties, plats and separate instruments are to be filed in each county\***
- Location/vicinity map\***
- For Replats and Amending Plats - purpose of replat statement (i.e.: "The purpose of this replat is to add a five-foot utility easement along the front of Block A, Lots 1-9.")\***
- For Residential Plats - This plat is subject to the additional residential zoning standards outlined in Ordinance 15-55\***
- Civil Plans Submittal **MUST** be submitted when requesting for Replat, Final and Amending Plat. Plat Submittal will be rejected if there is no Civil Plans. \***

\*\*\*List continues on Page 50\*\*\*

This information is intended to act as a guide, please verify with the Planning Department to confirm requirements of the zoning ordinance.

# FINAL PLAT, REPLAT, AND AMENDING PLAT REQUEST CHECKLIST (CONT.)



## For residential lots adjacent to the floodplain:\*

- Any lot that backs to the Base Floodplain and/or Access Dedication shall have a minimum rear yard setback of twenty-five (25) feet;
- Any lot that sides to the Base Floodplain and/or Access Dedication shall have a minimum side yard setback of fifteen (15) feet.
- Alternating cul-de-sacs and looped streets shall be provided at intervals not to exceed 1,200 feet for access to the Base Floodplain and/or Access Dedication; and
- The Base Floodplain and/or Access Dedication shall be available to public access from the end of a cul-de-sac in the manner required in Section 6.20 of the Subdivision Ordinance.

Legend, if abbreviations or symbols are used

Name, address and phone number for owner, applicant, and surveyor

North arrow and scale appropriate for the level of detail - multiple sheets may be required

The Point of Beginning is to be tied to original survey and abstract corner with distance and bearing

Lot dimensions in feet and hundredths of feet with bearings and angles to street and alley lines

Lots and blocks with lot and block numbers

A table of lot and block numbers with the square footage of each lot listed on the plat

Building lines (for residential uses only)

Existing and proposed location of streets and alleys, right-of-way widths, and names of streets

Right-of-way dedications or reservations - include dedicated to the Town of Prosper in fee

For residential developments, show and label landscape easements with a note.

- Landscape Easements are Exclusive.
- Open space lots are to be owned and maintained by the HOA.

Existing easements and property lines within one hundred (100) feet of the subject property

For commercial developments, show and label landscape easements with a note that Landscape Easements are Exclusive along Hwy 380, FM 1385, Frontier Pkwy, Custer Rd, Dallas North Parkway and Preston Rd.

Filing information for all existing easements and rights-of-way

Complete curve data (delta, length, radius, tangent, point of curve, point of reverse curve, and point of tangent) and bearings of all tangents

Locations, material, and size of all monuments found and set

Outline of all property offered for dedication for public use

Adjacent properties - subdivision name of platted properties or owner name of unplatte property with recording information

\*\*\*List continues on Page 51\*\*\*

This information is intended to act as a guide, please verify with the Planning Department to confirm requirements of the zoning ordinance.

# FINAL PLAT, REPLAT, AND AMENDING PLAT REQUEST CHECKLIST (CONT.)



- Existing and proposed FEMA 100-year floodplain and elevation. Include minimum finished floor elevations of all lots adjacent to floodplain. If site does not contain a floodplain, note that: "No 100-year floodplain exists on the site." A floodplain reclamation study will be required with the Final Plat if necessary
- Existing and proposed Fully Developed 100-year floodplain. All floodplain data shall be for urban developed conditions upstream
- Surveyor's certificate (signed and sealed) with notary block
- Town approval signature block located on the right side of the page
- Certificate of ownership with notary block(s) - include all counties included in the plat
- Additional documents necessary for dedication or conveyance of easements or rights-of-way
- Other information as considered essential by the Town
- Standard language and/or notations, as follows:
  - List the following note on the plat: "Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fines and withholding of utilities and building permits."
  - Dedication language for easements for fire lane, landscape, visibility and maintenance, utility, access, drainage and floodway, and/or drainage and detention (see easement language)
  - Note stating which single-family district standards apply to the subdivision, if applicable
  - If the site does not contain a floodplain, note that: "No floodplain exists on the site."
  - Note stating the amount (in square feet and acres) of right-of-way dedicated. Label all right-of-way dedication as "dedicated in fee simple to the Town of Prosper"
  - Note including the number of lots, acreage, density, and average lot size (residential only)
  - Table to include the number of lots by type (if applicable) and the percentages of each type
  - All landscape easements must be exclusive of any other type of easement
  - For all plats with on-site sewage facilities (OSSF) - Contact Collin/Denton County for all required OSSF plat notes and signature blocks
  - If applicable: I HEREBY CERTIFY THAT THE ON-SITE SEWAGE FACILITIES DESCRIBED ON THIS PLAT CONFORM TO THE APPLICABLE OSSF LAWS OF THE STATE OF TEXAS, THAT THE SITE EVALUATIONS HAVE BEEN SUBMITTED REPRESENTING THE SITE CONDITIONS IN THE AREA IN WHICH ON-SITE SEWAGE FACILITIES ARE PLANNED TO BE.



Preparer's Signature